

925 Main Street, Hamilton, ON
N.T.S.

SEC	PROVISION	REQUIRED	PROPOSED	CONFORMITY
MAX. BUILDING HEIGHT		TOWER A - 62.0 m	29 STOREY (92.55m)	NO
		TOWER B - 56.0 m	26 STOREY (83.40m)	NO
		PODIUM - 22.0 m	6 STOREY (21.45m)	YES
MIN. FRONT YARD SETBACK (MAIN ST. W.)	0.0 M FOR ANY PORTION OF A BUILDING UP TO 22.0 M (INC. TO HYPOTENUSE OF DAYLIGHT TRIANGLE)	2.97 m	YES	
	6.1 M FOR ANY PORTION GREATER THAN 22.0 METRES	5.65 m	NO	
MIN. BUILDING SETBACK - LONGWOOD ROAD	0.0 M FOR ANY PORTION OF A BUILDING UP TO 22.0 M (INC. TO HYPOTENUSE OF DAYLIGHT TRIANGLE)	6.66 m	YES	
	15.0 METRES FOR ANY PORTION OF A BUILDING GREATER THAN 22.0 METRES IN HEIGHT, EXCEPT 8.8 METRES TO THE HYPOTENUSE OF THE DAYLIGHT TRIANGLE.	18.46 m	YES	
MIN. INTERIOR SIDEYARD	0.9 m FOR ANY PORTION OF A BUILDING UP TO 22.0 METRES IN HEIGHT WHEN ABUTTING A RESIDENTIAL ZONE.	3.51 m	YES	
	4.0 m FOR ANY PORTION OF A BUILDING GREATER THAN 22.0 METRES IN HEIGHT WHEN ABUTTING A RESIDENTIAL ZONE.	3.12 m	NO	
MIN. DRIVEWAY AISLE WIDTH	6.0 m	7.5 m	YES	
MIN. GROUND FLOOR FACADE	GREATER THAN OR EQUAL TO 50% OF THE MEASUREMENT OF THE FRONT LOT LINE ABUTTING THE STREET (MAIN STREET WEST)	87.5 %	YES	
	GREATER THAN OR EQUAL TO 25% OF THE MEASUREMENT OF THE FLANKAGE LOT LINE ABUTTING THE STREET (LONGWOOD ROAD)	56.7 %	YES	
MIN. AMENITY AREA i)UNIT<50m²=46m²/UNIT ii)UNIT>50m²=6m²/UNIT	i) 115 Units x 4m² = 460m² ii) 520 Units x 6m² = 3120m² TOTAL 3580m²	INDOOR 604 m² OUTDOOR 8,154 m² TOTAL 8,758 m²	YES	
	i) A CANOPY, CORNICE, EAVE OR GUTTER MAY BE LOCATED WITHIN A MINIMUM OF 1.0 METRE OF ANY PROPERTY LINE	1.95m	YES	
YARD ENCROACHMENT	i) A BAY, BALCONY OR DOWNER LOCATED A MINIMUM OF 1.25 METRES FROM ANY PROPERTY LINE	1.95m	YES	
	iii) AIR CONDITIONERS, PUMPS AND OTHER SIMILAR MECHANICAL EQUIPMENT SHALL BE SETBACK A MINIMUM OF 3.0 METRES FROM A STREET LINE AND 0.6 METRES FROM A SIDE LOT LINE	FROM STREET 1.3m FROM SIDE LOT 1.0m	NO	
			YES	
VEHICLE PARKING				
MAX. RESIDENTIAL PARKING	1 SPACE/UNIT (INCLUSIVE RESIDENT & VISITOR SPACES) STD PARKING DIMENSIONS: 2.8 m (W) x 5.8 m (L), 635 Units * 1 = 635 SPACES	GRD LVL 4 UG LVL 431 TOTAL 435	YES	
MIN. RESIDENTIAL PARKING	0 PARKING	0	YES	
MIN. VISITOR PARKING	VISITOR: 635 Units x 0.05 Spaces/Unit + 2 Spaces = 33 PARKING	33	YES	
SMALL CAR PARKING MAX. 10% OF OVERALL	DIMENSIONS: 2.6m (W) x 5.5m (L), 33 SPACES*10% = 3 SPACES	40	NO	
ACCESSIBLE PARKING TYPE A: 3.4m (W) x 5.8m (L) TYPE B: 2.4m (W) x 5.8m (L)	1 RESIDENTIAL AND 0.3 VISITOR SPACES REQUIRED PER UNIT, THEREFORE 1.3 x 635 = 826.5 SPACES 0.02 PER UNIT IN EXCESS OF 12.5 LIVING SPACES (826.5 x 0.02) ÷ 2 = 16.51 = 19 SPACES	25	YES	
MIN. COMMERCIAL PARKING SPACES	6.25 SPACES/ 100 m² OF GFA IN EXCESS OF 450 m² (CURRENT COMMERCIAL AREA IS 321.71 m²)	0	YES	
BICYCLE PARKING				
RESIDENTIAL BICYCLE PARKING	i) SHORT TERM: 0.1 Spaces/Unit 635 Units x 0.1 = 63.5 Spaces	64	YES	
	ii) LONG TERM: 0.7 Spaces/Unit 635 Units x 0.7 = 444.5 Spaces	445	YES	
COMMERCIAL BICYCLE PARKING	i) SHORT TERM: 0.2 Spaces/100 m² OF GFA (318.5 m²/100) x 0.2 = 0.64 Spaces (1 Space)	1	YES	
	ii) LONG TERM: 0.15 Spaces/100 m² OF GFA (318.5 m²/100) x 0.15 = 0.48 Spaces (1 Space)	1	YES	

TOPOGRAPHIC SURVEY OF PART
OF LOT 2, 3, 4 AND 6

REGISTRAR'S COMPILED PLAN
1479 IN THE CITY OF HAMILTON

S.D. McLAREN, O.L.S. - 2019

NOTES:

- SITE PREPARED BASED ON CIVIL
DRAWINGS PROVIDED BY S. LLEWELLYN &
& ASSOCIATES LIMITED.
- SITE LIGHTING BASED ON ELECTRICAL
DRAWINGS PREPARED BY HAMMERSCHLAG
& JOFFE INC.
- LANDSCAPE BASED ON LANDSCAPE
DRAWINGS PREPARED BY WHITEHOUSE
URBAN DESIGN.

NOTES:

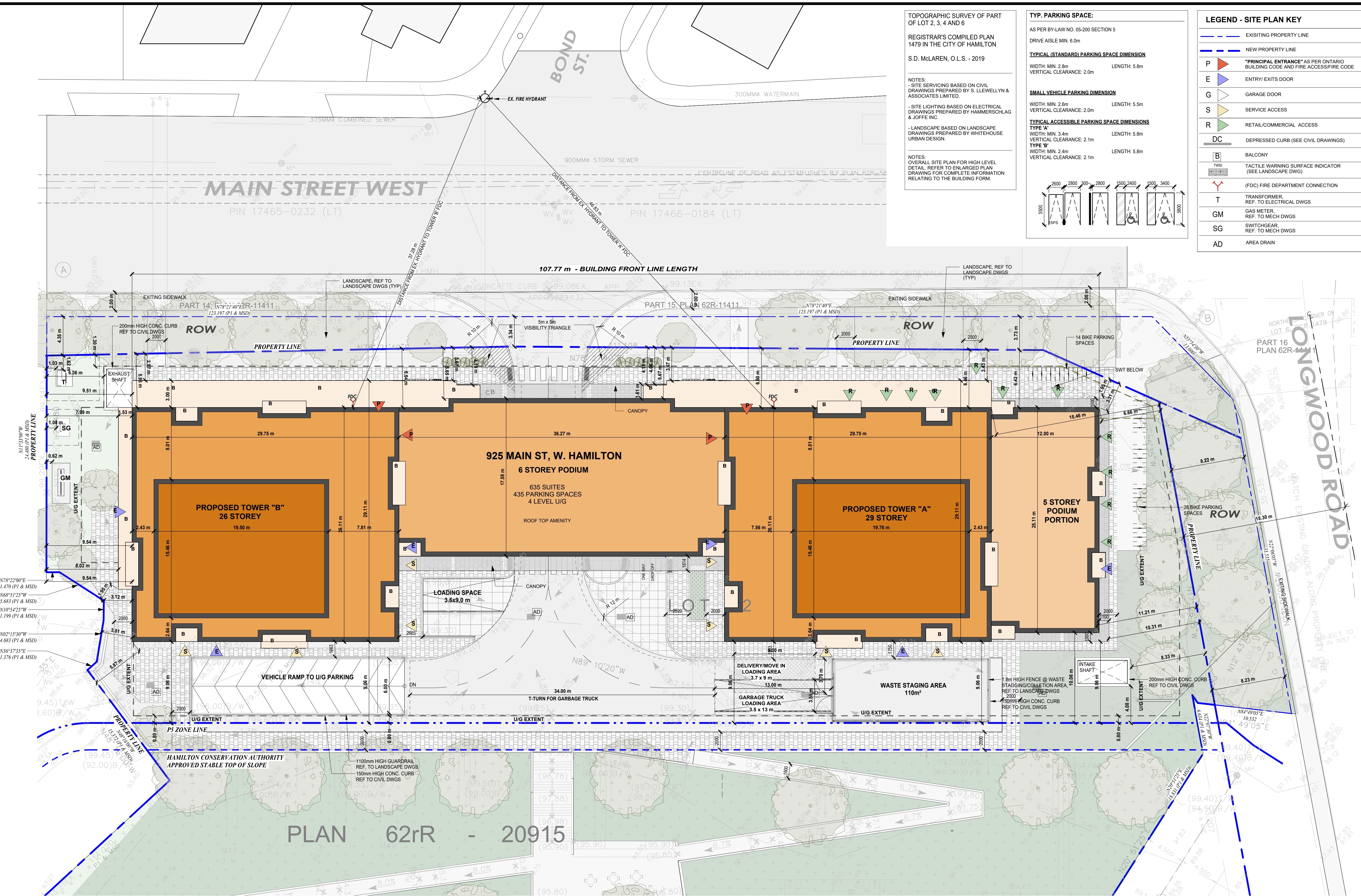
OVERALL SITE PLAN FOR HIGH LEVEL
DETAIL. REFER TO ENLARGED PLAN
DRAWING FOR COMPLETE INFORMATION
RELATING TO THE BUILDING FORM.



NOT FOR CONSTRUCTION



A0.01



TOPOGRAPHIC SURVEY OF PART OF LOT 2, 3, 4 AND 6
REGISTRAR'S COMPILED PLAN 1479 IN THE CITY OF HAMILTON
S.D. McLAREN, O.L.S. - 2019

NOTES:
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- SITE LIGHTING BASED ON ELECTRICAL DRAWINGS PREPARED BY HAMMERSCHLAG & JOFFE INC.
- LANDSCAPE BASED ON LANDSCAPE DRAWINGS PREPARED BY WHITEHOUSE URBAN DESIGN.

NOTES:
OVERALL SITE PLAN FOR HIGH LEVEL DETAIL. REFER TO ENLARGED PLAN DRAWING FOR COMPLETE INFORMATION RELATING TO THE BUILDING FORM.

TYP. PARKING SPACE:
AS PER BY-LAW NO. 05-200 SECTION 5
DRIVE AISLE MIN. 6.0m

TYPICAL (STANDARD) PARKING SPACE DIMENSION
WIDTH: MIN. 2.8m LENGTH: 5.8m
VERTICAL CLEARANCE: 2.0m

SMALL VEHICLE PARKING DIMENSION
WIDTH: MIN. 2.6m LENGTH: 5.5m
VERTICAL CLEARANCE: 2.0m

TYPICAL ACCESSIBLE PARKING SPACE DIMENSIONS
TYPE 'A'
WIDTH: MIN. 3.4m LENGTH: 5.8m
VERTICAL CLEARANCE: 2.1m
TYPE 'B'
WIDTH: MIN. 2.4m LENGTH: 5.8m
VERTICAL CLEARANCE: 2.1m

LEGEND - SITE PLAN KEY	
---	EXISTING PROPERTY LINE
---	NEW PROPERTY LINE
P	"PRINCIPAL ENTRANCE" AS PER ONTARIO BUILDING CODE AND FIRE ACCESS/FIRE CODE
E	ENTRY/EXITS DOOR
G	GARAGE DOOR
S	SERVICE ACCESS
R	RETAIL/COMMERCIAL ACCESS
DC	DEPRESSED CURB (SEE CIVIL DRAWINGS)
B	BALCONY
TWS	TACTILE WARNING SURFACE INDICATOR (SEE LANDSCAPE DWG)
FD	(FDC) FIRE DEPARTMENT CONNECTION
T	TRANSFORMER, REF. TO ELECTRICAL DWGS
GM	GAS METER, REF. TO MECH DWGS
SG	SWITCHGEAR, REF. TO MECH DWGS
AD	AREA DRAIN

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DRAWING SETS ISSUED	No.	DATE (YY.MM.DD)
ZBA SUBMISSION	1	2026-06-23

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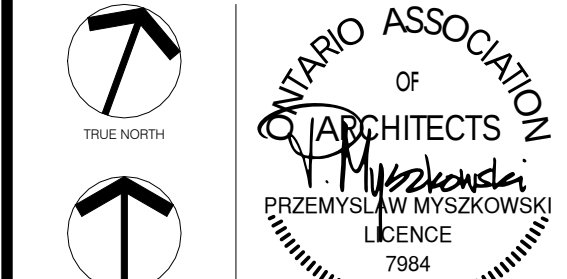
REVISIONS TO DRAWING	No.	DATE (YY.MM.DD)
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BUILDING PERMIT NUMBER:
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APPLICATION FILE NUMBER:



925 MAIN ST.
925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

ENLARGED SITE PLAN

PROJECT NUMBER:
21009
PLOT DATE:
2026-02-20
DRAWING SHEET NUMBER:

A0.02

1 ENLARGED SITE PLAN
A0.02 1:200

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REVISIONS TO DRAWING	No.	DATE (YY MM DD)
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2023

4010

21.50

NOTES

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

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BURLINGTON HEAD OFFICE

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ARCHITECTS 2
Mikolajski

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 FIDELITY INVESTMENTS

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

925 MAIN ST.

1. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

DRAWING SHEET TITLE:

AREAS 8 CLUTE

SCHEDULES

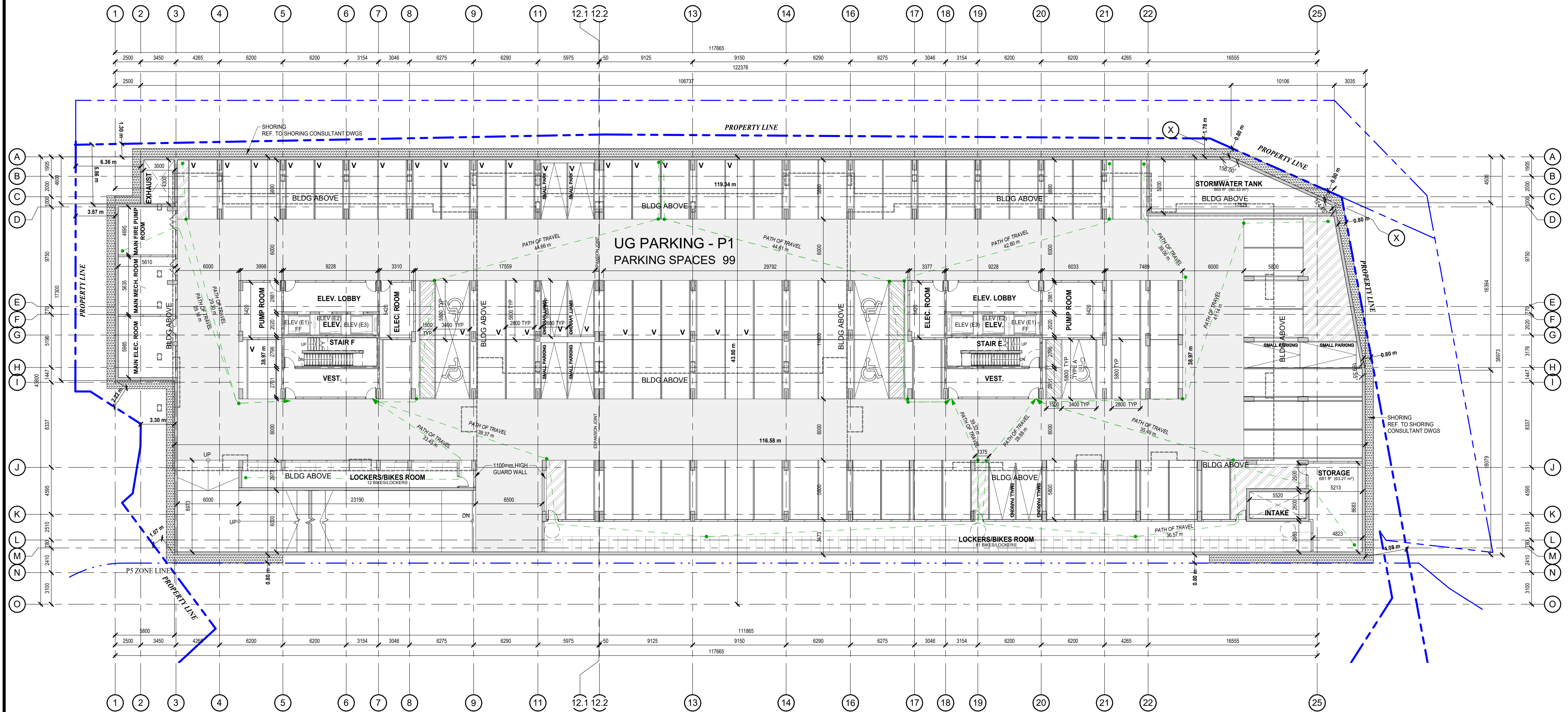
21009 2026-02-20

DRAWING SHEET NUMBER:

A0.10

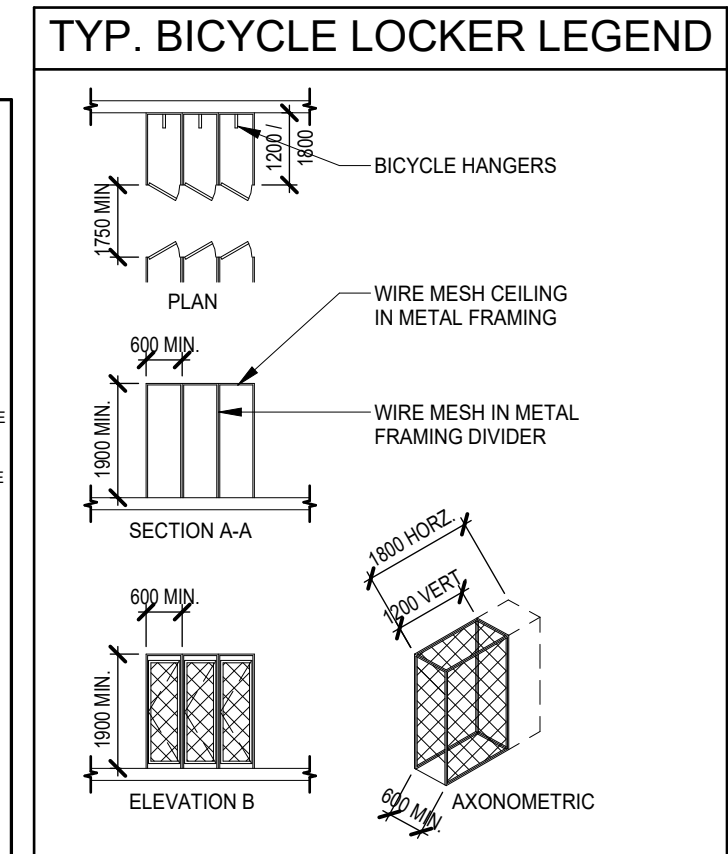
2ND FLOOR - SUITE SCHEDULE									
TYPE	AREA (min)	AREA (max)	STUDIO	1BED UNIT	1BED+DEN	2BED UNIT	2BED+DEN	3BED UNIT	TOTAL
TYPE A1	39.56 m²	39.56 m²	1	0	0	0	0	0	1
TYPE B1	39.23 m²	61.86 m²	8	0	0	0	0	0	8
TYPE C1	58.65 m²	69.52 m²	0	0	0	0	0	0	0
TYPE D1	55.83 m²	58.53 m²	0	0	4	0	0	0	4
TYPE E1	59.82 m²	61.03 m²	0	0	0	3	0	0	3
TYPE G1	62.66 m²	86.39 m²	0	0	0	6	2	0	8
TYPE J1	86.38 m²	88.26 m²	0	0	0	0	4	4	8
GRAND TOTAL			1	8	10	9	2	4	34

A0.10



1 UNDERGROUND LEVEL 1
A1.00 1:200

LEGEND		
CONSTRUCTION TAGS:		
101	WALL TAGS	SEE A015 - WALL TYPES
102	CEILING TAGS	SEE A016 - CEILING TYPES
Room name		
150	ROOM TAGS	SEE A000 - ROOM SCHEDULE
XXXX	DOOR TAGS	SEE A001 - DOOR SCHEDULE
11	WINDOW TAGS	SEE A005 - WINDOW ELEVATIONS
1001	LOCKER NUMBERS	
0001	PARKING NUMBERS	
FHC	FIRE HOSE CABINET PROPOSED LOCATION	
NOTE: ALL DIMENSIONS SHOWN ON 200 SERIES DRAWINGS ARE TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE		



TYP. PARKING SPACE:	
AS PER BY-LAW NO. 05-200 SECTION 5	
DRIVE AISLE MIN. 6.0m	
TYPICAL (STANDARD) PARKING SPACE DIMENSION	
WIDTH: MIN. 2.8m	LENGTH: 5.8m
VERTICAL CLEARANCE: 2.0m	
SMALL VEHICLE PARKING DIMENSION	
WIDTH: MIN. 2.6m	LENGTH: 5.5m
VERTICAL CLEARANCE: 2.0m	
TYPICAL ACCESSIBLE PARKING SPACE DIMENSIONS	
TYPE 'A'	
WIDTH: MIN. 3.4m	LENGTH: 5.8m
VERTICAL CLEARANCE: 2.1m	
TYPE 'B'	
WIDTH: MIN. 2.4m	LENGTH: 5.8m
VERTICAL CLEARANCE: 2.1m	

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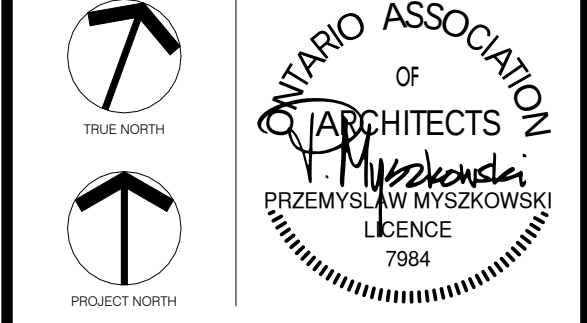
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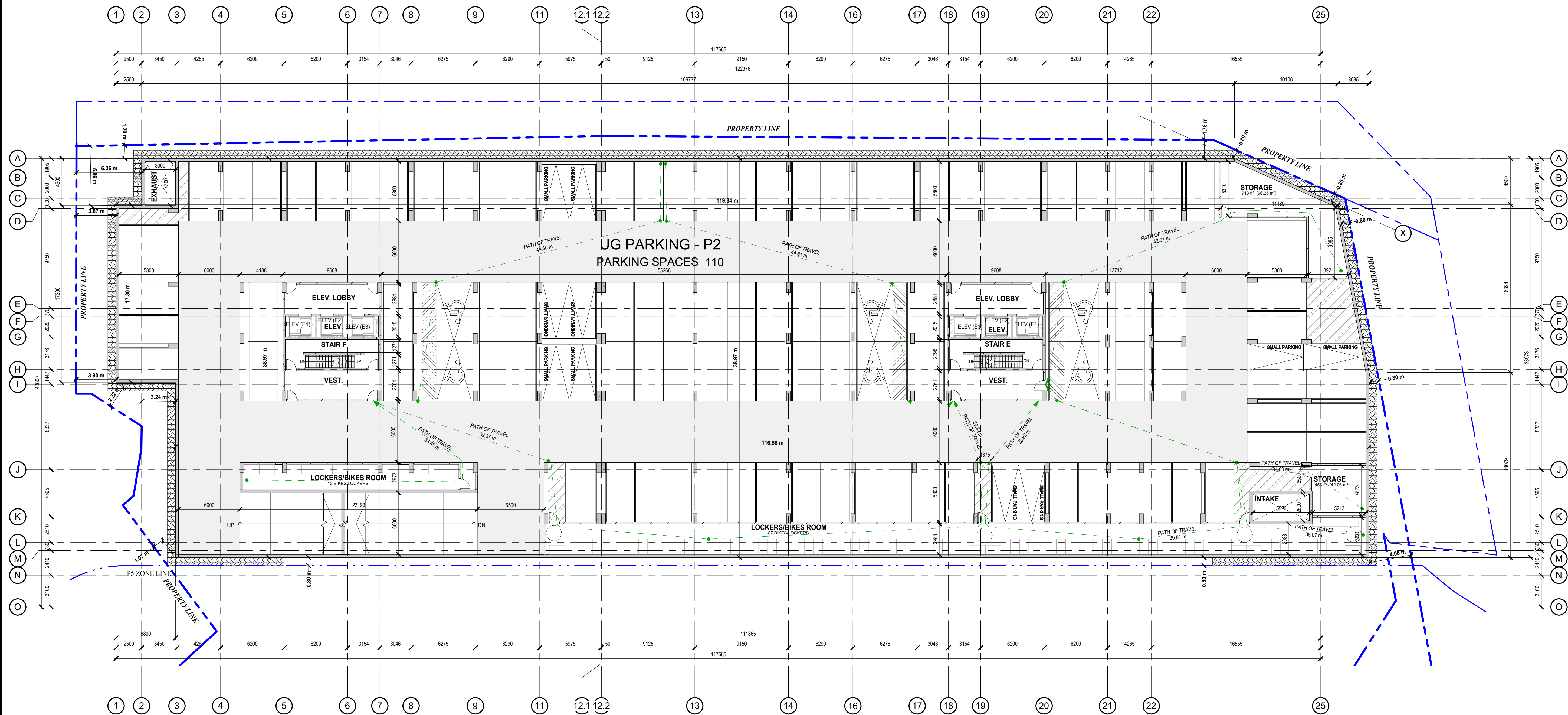
925 MAIN ST.

925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

UNDERGROUND
LEVEL 1

PROJECT NUMBER:
21009
PLOT DATE:
2026-02-20
DRAWING SHEET NUMBER:

A1.00



1 UNDERGROUND LEVEL 2
A1.01 1 : 200

LEGEND

CONSTRUCTION TAGS:

- 101 WALL TAGS SEE A015 - WALL TYPES
- CEILING TAGS SEE A016 - CEILING TYPES
- Room name 150 m² ROOM TAGS SEE A000 - ROOM SCHEDULE
- XXXX DOOR TAGS SEE A001 - DOOR SCHEDULE
- 11 WINDOW TAGS SEE A005 - WINDOW ELEVATIONS
- 0001 LOCKER NUMBERS
- 0001 PARKING NUMBERS
- FHC FIRE HOSE CABINET PROPOSED LOCATION

NOTE: ALL DIMENSIONS SHOWN ON 200 SERIES DRAWINGS ARE TO FINISHED FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE.

TYP. BICYCLE LOCKER LEGEND

PLAN

SECTION A-A

ELEVATION B

AXONOMETRIC

BICYCLE HANGERS

WIRE MESH CEILING IN METAL FRAMING

WIRE MESH IN METAL FRAMING DIVIDER

TYP. PARKING SPACE:

AS PER BY-LAW NO. 05-200 SECTION 5

DRIVE AISLE MIN. 6.0m

TYPICAL (STANDARD) PARKING SPACE DIMENSION

WIDTH: MIN. 2.8m LENGTH: 5.8m

VERTICAL CLEARANCE: 2.0m

SMALL VEHICLE PARKING DIMENSION

WIDTH: MIN. 2.6m LENGTH: 5.5m

VERTICAL CLEARANCE: 2.0m

TYPICAL ACCESSIBLE PARKING SPACE DIMENSIONS

TYPE 'A'

WIDTH: MIN. 3.4m LENGTH: 5.8m

VERTICAL CLEARANCE: 2.1m

TYPE 'B'

WIDTH: MIN. 2.4m LENGTH: 5.8m

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SPS

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APPLICATION FILE NUMBER:



925 MAIN ST.

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DRAWING SHEET TITLE:

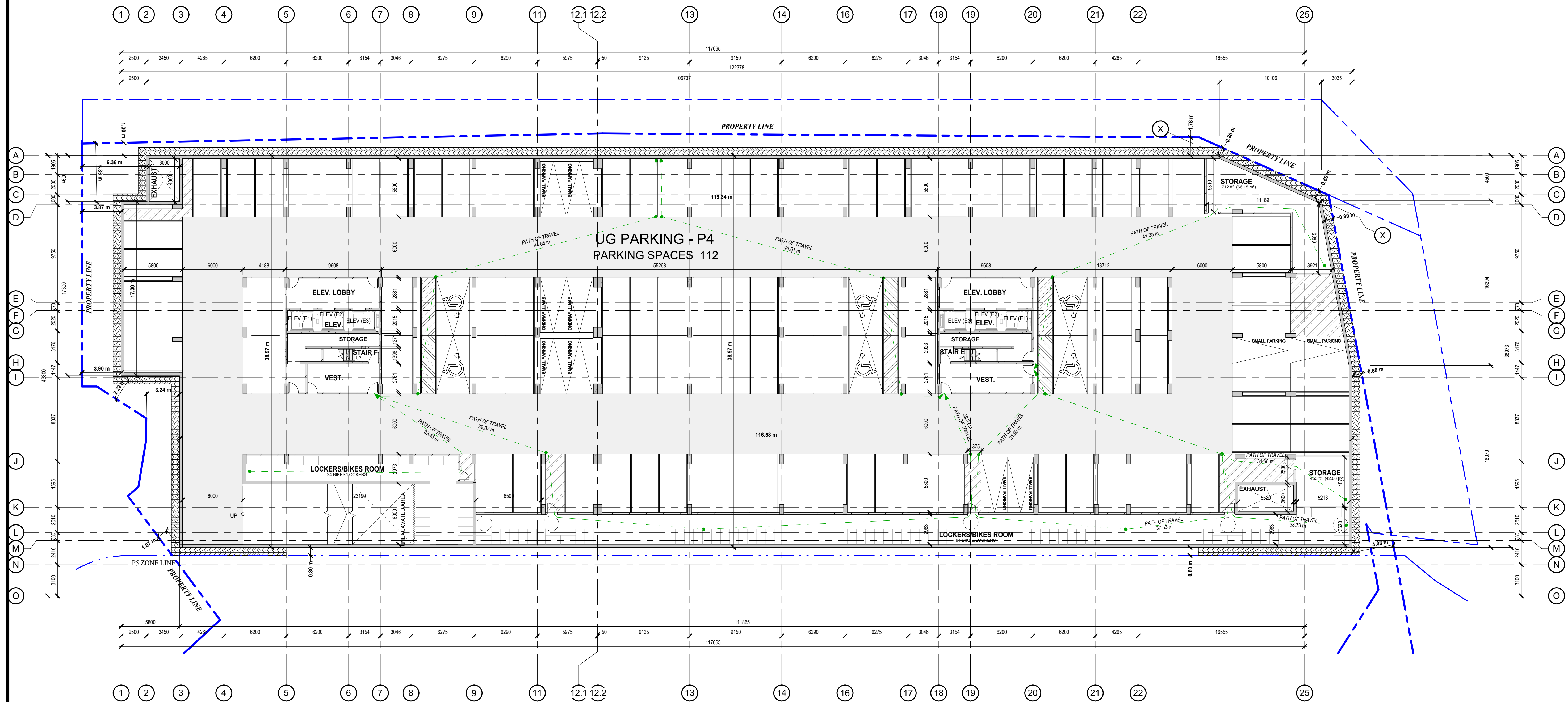
UNDERGROUND
LEVEL 2

PROJECT NUMBER:
21009

PLOT DATE:
2026-02-20

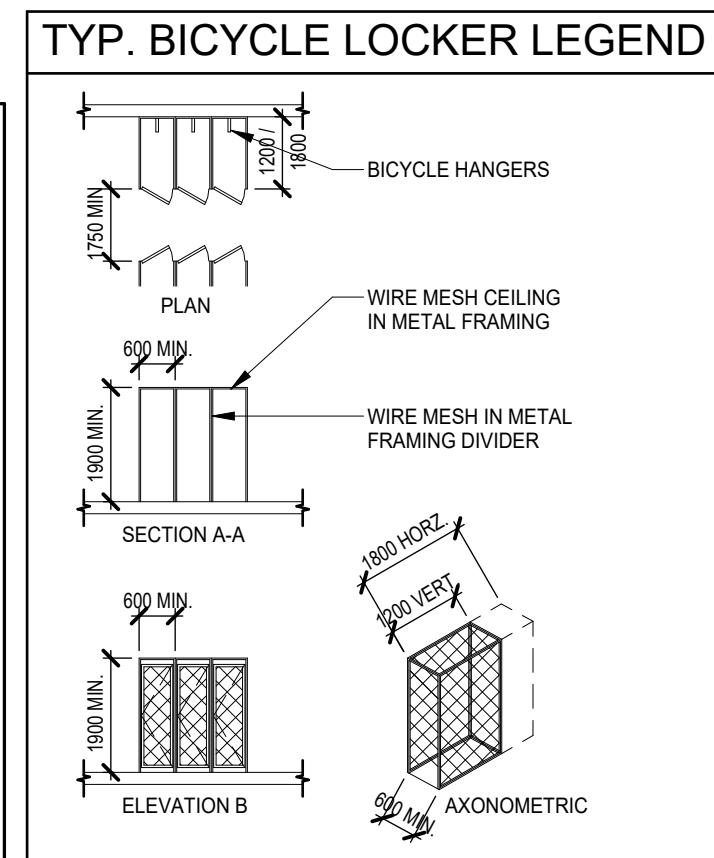
DRAWING SHEET NUMBER:

A1.01



1 UNDERGROUND LEVEL 4
A1.03 1:200

LEGEND			
CONSTRUCTION TAGS:			
101	WALL TAGS	SEE A015 - WALL TYPES	
102	CEILING TAGS	SEE A016 - CEILING TYPES	
Room name			
150 m ²	ROOM TAGS	SEE A000 - ROOM SCHEDULE	
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TYP. PARKING SPACE:	
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DRIVE AISLE MIN. 6.0m	
TYPICAL (STANDARD) PARKING SPACE DIMENSION	
WIDTH: MIN. 2.8m	LENGTH: 5.8m
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TYPICAL ACCESSIBLE PARKING SPACE DIMENSIONS	
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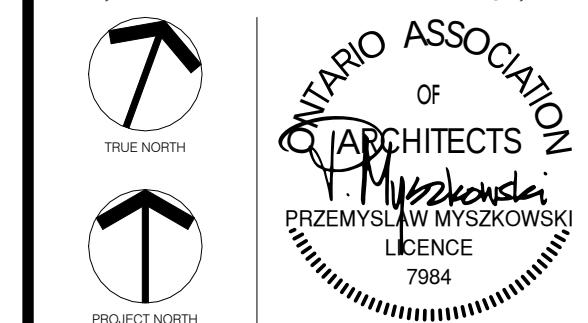
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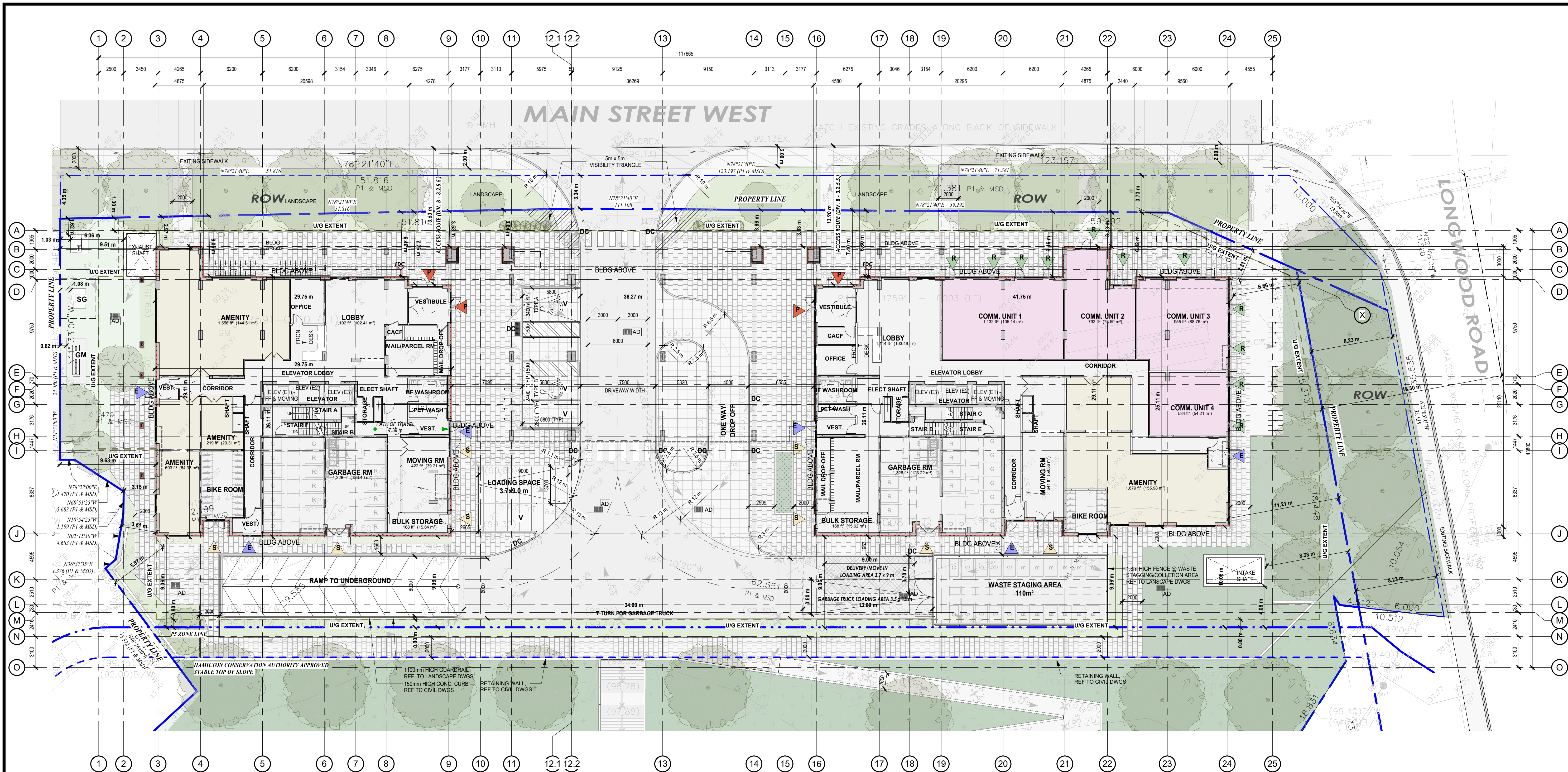


925 MAIN ST.
925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

UNDERGROUND LEVEL 4

PROJECT NUMBER:
21009
PLOT DATE:
2026-02-20
DRAWING SHEET NUMBER:

A1.03



1 1st FLOOR - OVERALL
A1.04 1:200

LEGEND - SITE PLAN KEY	
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	"PRINCIPAL ENTRANCE" AS PER ONTARIO BUILDING CODE AND FIRE ACCESS/FIRE CODE
	ENTRY/EXITS DOOR
	GARAGE DOOR
	SERVICE ACCESS
	RETAIL/COMMERCIAL ACCESS
	DEPRESSED CURB (SEE CIVIL DRAWINGS)
	BALCONY
	TACTILE WARNING SURFACE INDICATOR (SEE LANDSCAPE DWG)
	(FDC) FIRE DEPARTMENT CONNECTION
	TRANSFORMER, REF. TO ELECTRICAL DWGS
	GAS METER, REF. TO MECH DWGS
	SWITCHGEAR, REF. TO MECH DWGS
	AREA DRAIN

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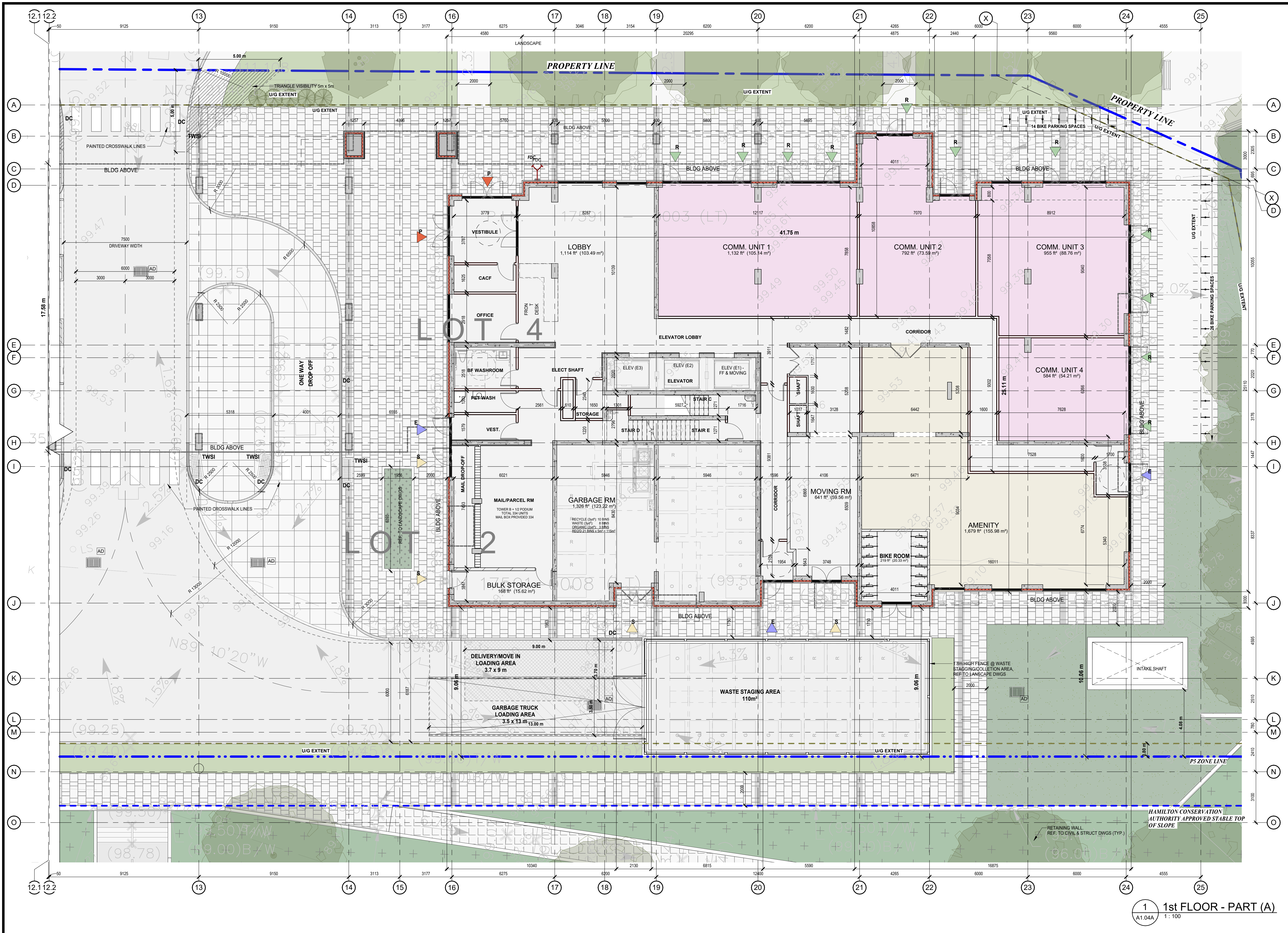
925 MAIN ST.

925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

1ST FLOOR PLAN - OVERALL

PROJECT NUMBER:
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A1.04



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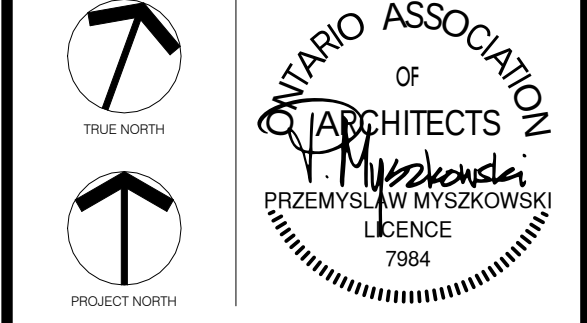
REVISIONS TO DRAWING	No.	DATE
		(YY.MM.DD)

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925 MAIN ST.

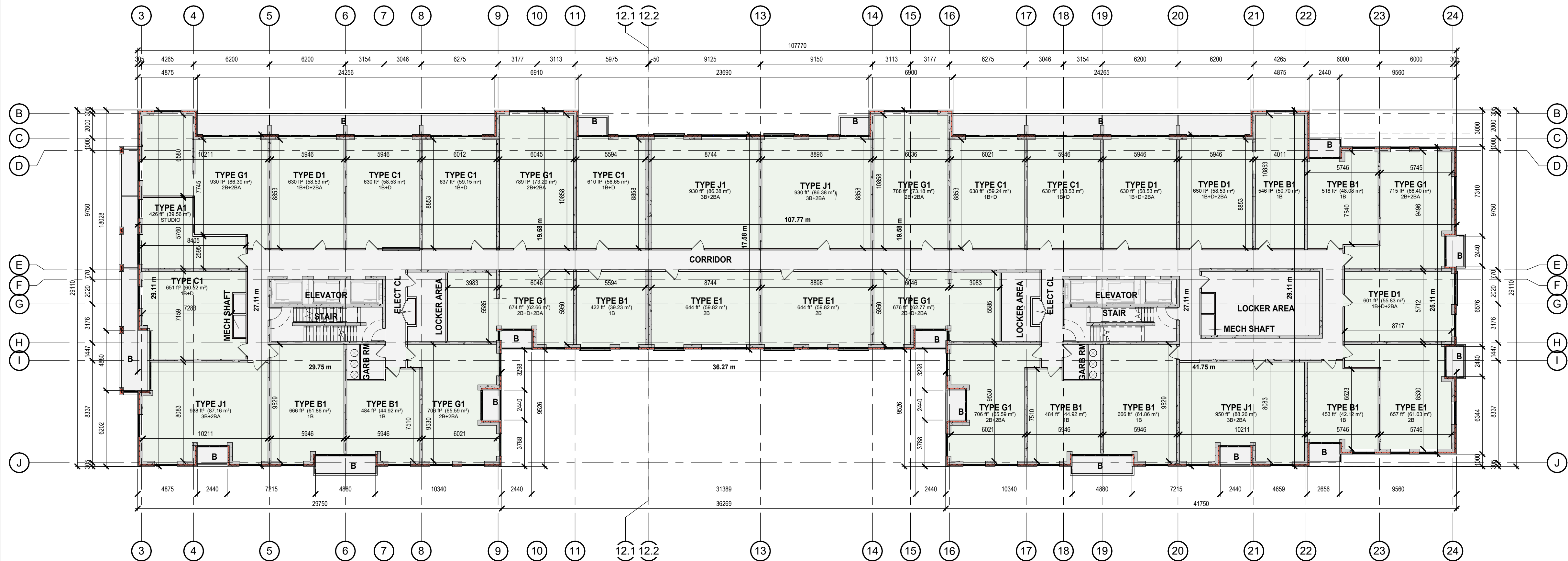
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1ST FLOOR PLAN - PART (A)

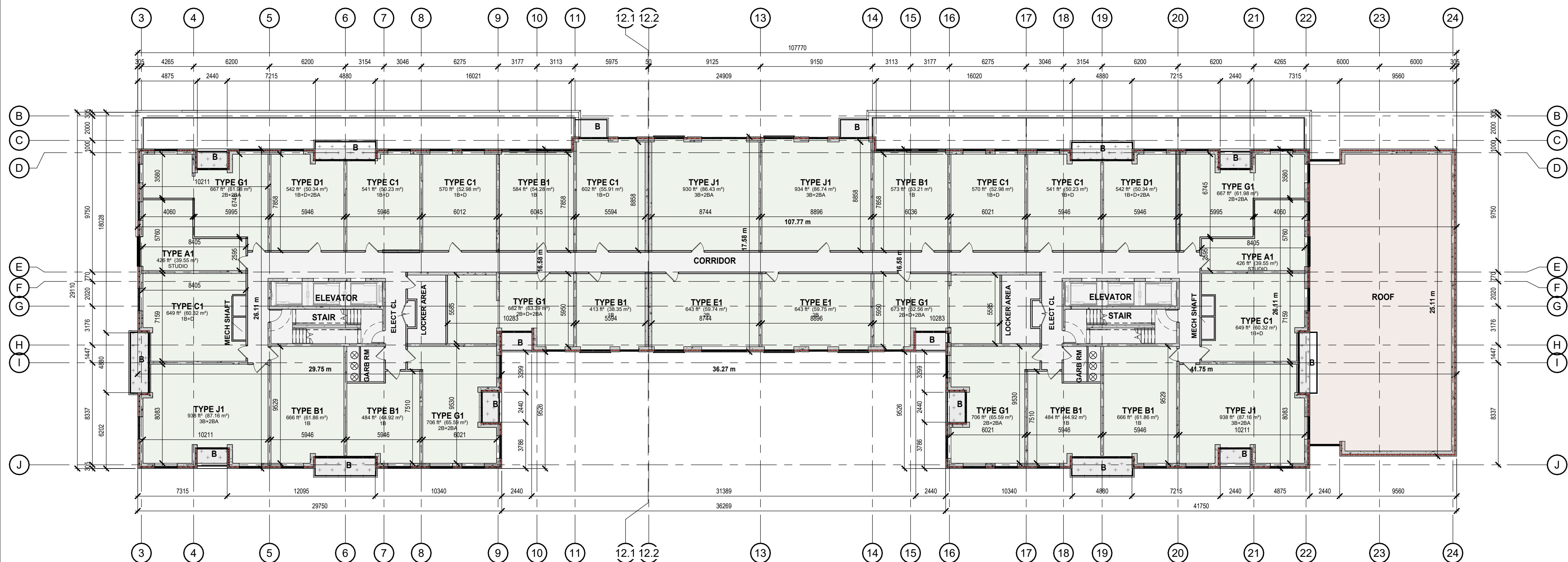
PROJECT NUMBER:
21009
PLOT DATE:
2026-02-20
DRAWING SHEET NUMBER:

A1.04A

1 1st FLOOR - PART (A)
A1.04A 1:100



2 2nd - 5th FLOOR.
A1.05 1:200



1 6th FLOOR.
A1.05 1:200

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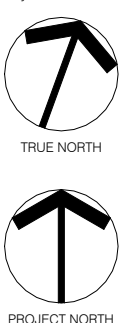
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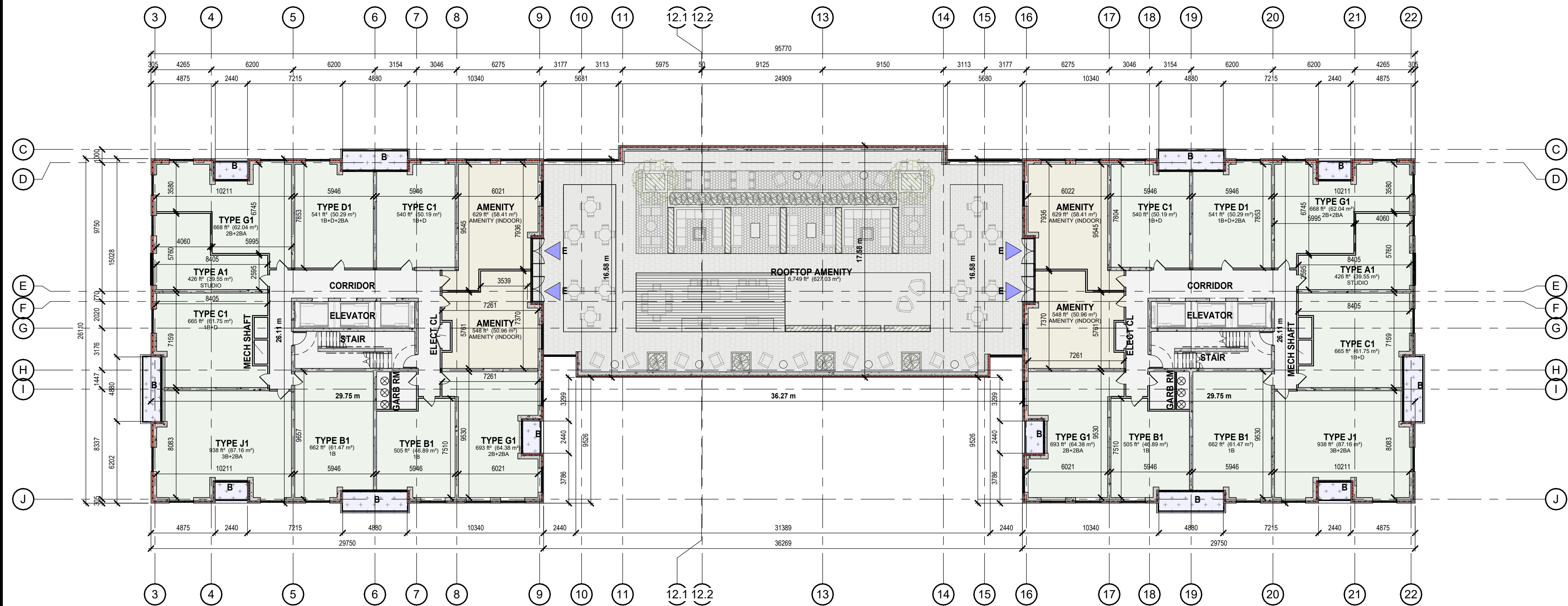
925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

2ND - 5TH & 6TH
FLOOR PLAN

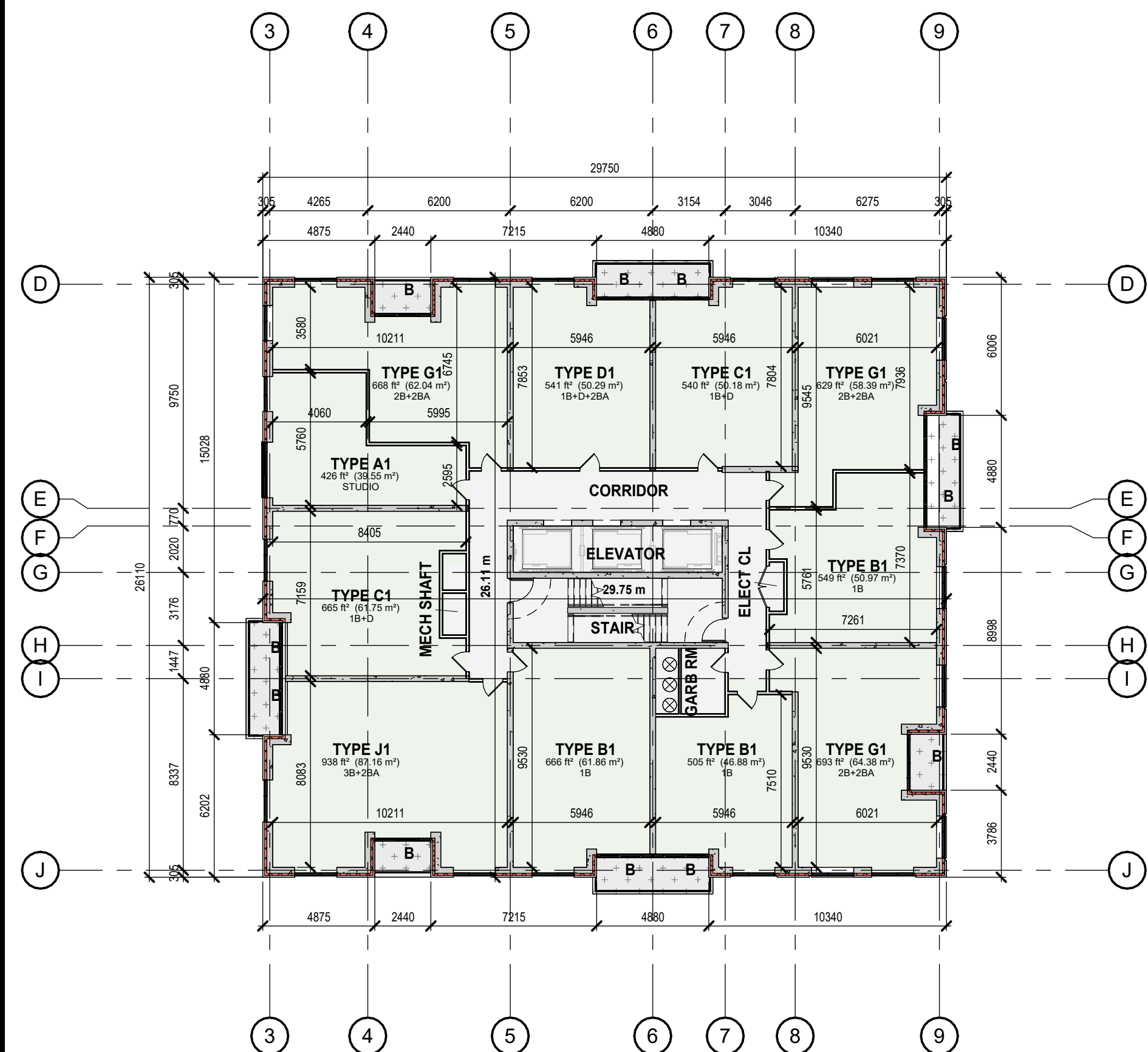
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21009
DRAWING SHEET NUMBER:

PLOT DATE:
2026-02-20

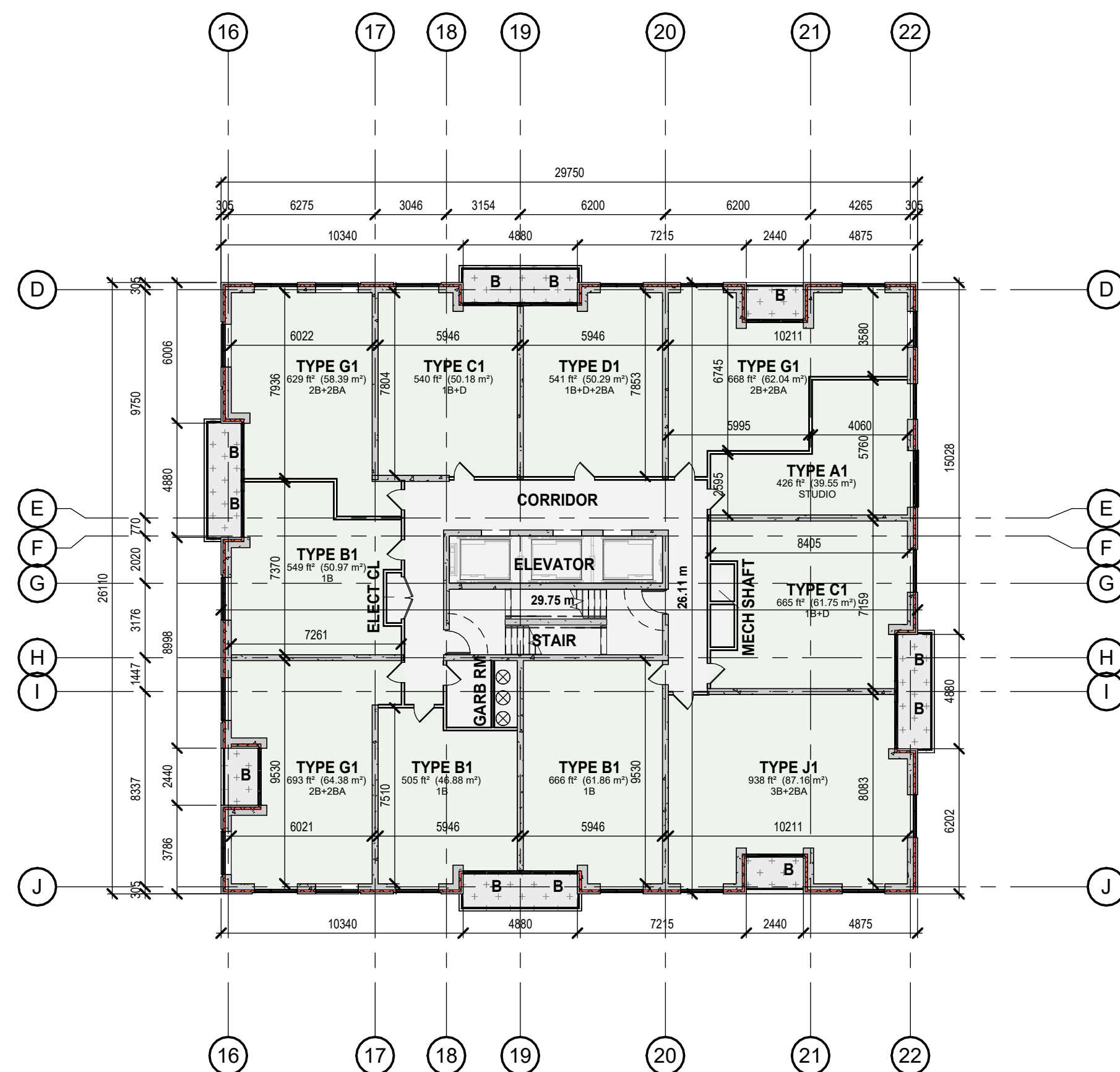
A1.05



1 7th FLOOR.
A1.07 1:200



3 8th - 26th FLOOR. (TOWER B)
A1.07 1:200



2 8th - 29th FLOOR. (TOWER A)
A1.07 1:200

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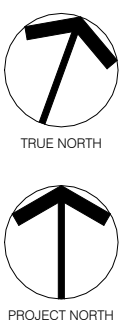
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APPLICATION FILE NUMBER:



925 MAIN ST.

925 MAIN ST. HAMILTON, ON

DRAWING SHEET TITLE:

7TH & 8TH - 29TH
FLOOR PLAN

PROJECT NUMBER: 21009	PLOT DATE: 2026-02-20
DRAWING SHEET NUMBER:	

A1.07

[illegible]

REVISIONS TO DRAWING	No.	DATE
		09/11/2005



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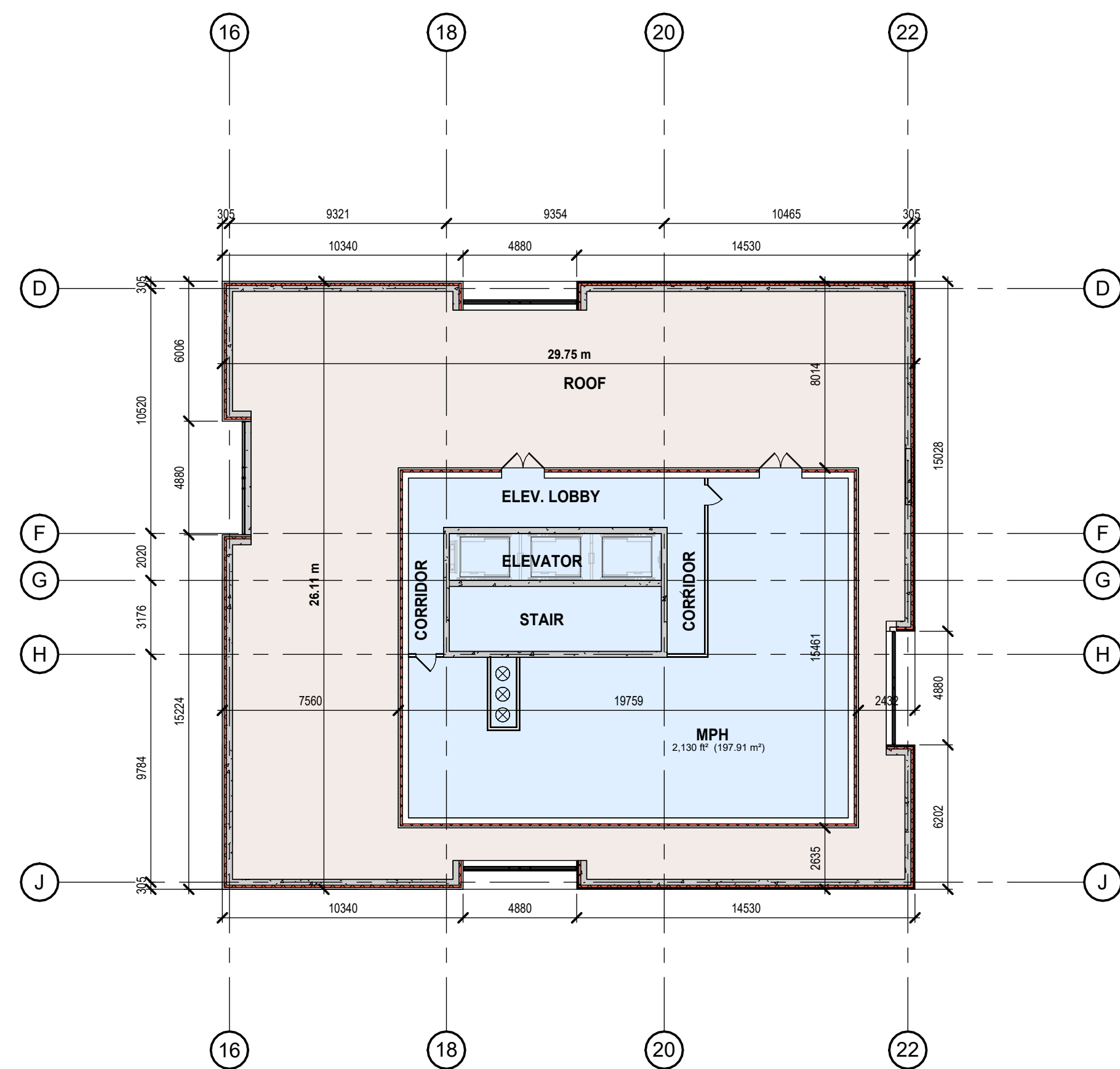
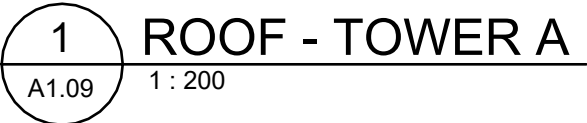


ONTARIO ASSOCIATION
OF
ARCHITECTS
PRZEMYSŁAW MYSZKOWSKI
LICENCE
7984



**EFFORT
TRUST**

A1.09





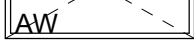
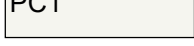
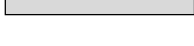
LEGEND

GL1	GLAZING PANEL - LIGHT GREY
GL2	GLAZING PANEL - DARK GREY
SP1	SPANDREL PANEL - LIGHT GREY
SP2	SPANDREL PANEL - DARK GREY
LV1	LOUVRED PANEL - LIGHT GREY
LV2	LOUVRED PANEL - DARK GREY
AW	AWNING WINDOW
PC1	PRECAST COLOUR 1
PC2	PRECAST COLOUR 2
PC3	PRECAST COLOUR 3
PC4	PRECAST COLOUR 4
PC5	PRECAST COLOUR 5
PC6	PRECAST COLOUR 6
MS1	METAL SIDING - WOOD GRAIN
MF	METAL FLASHING
AR	ALUMINUM RAILING W/ GLASS

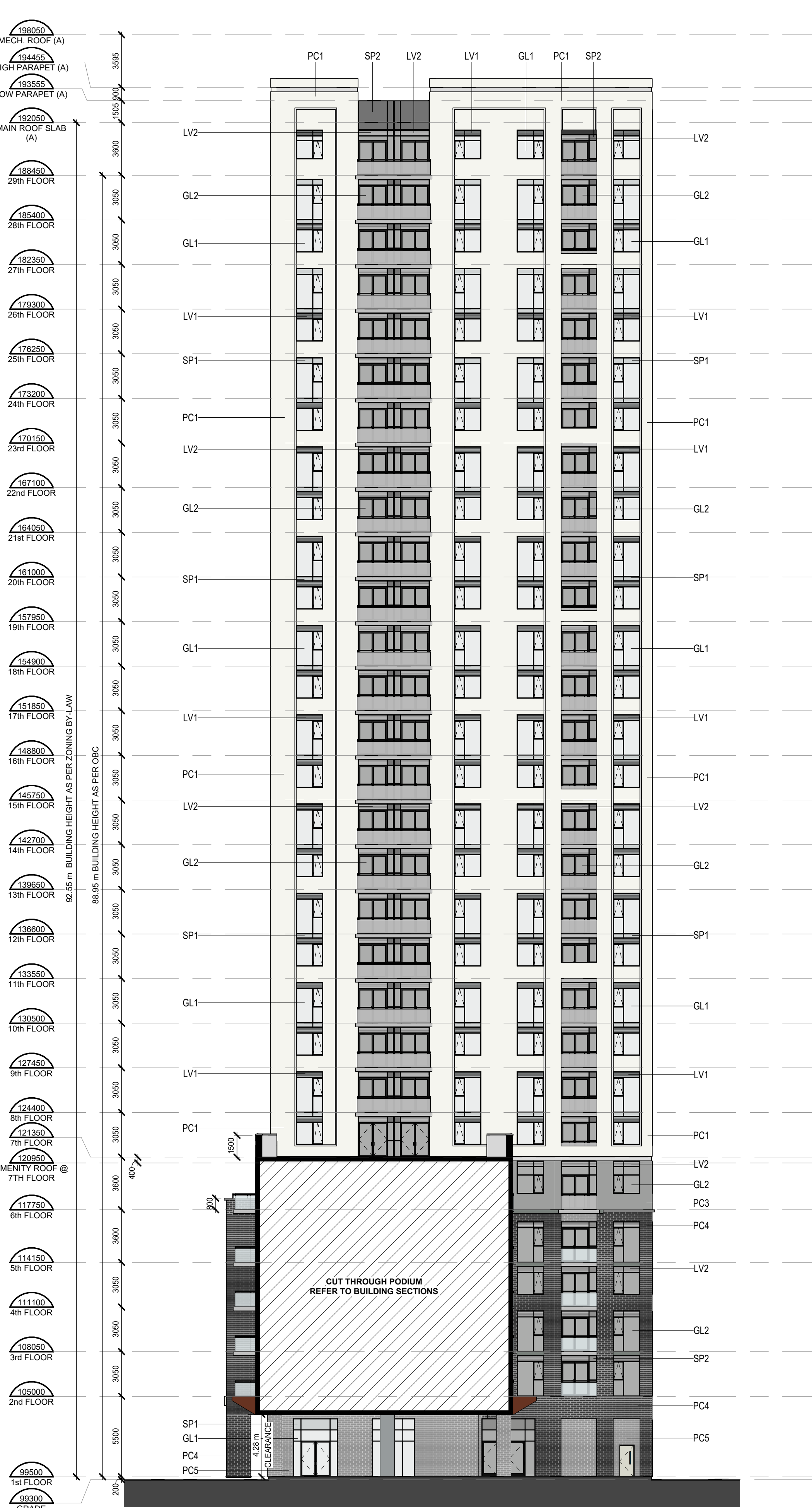
A2.40



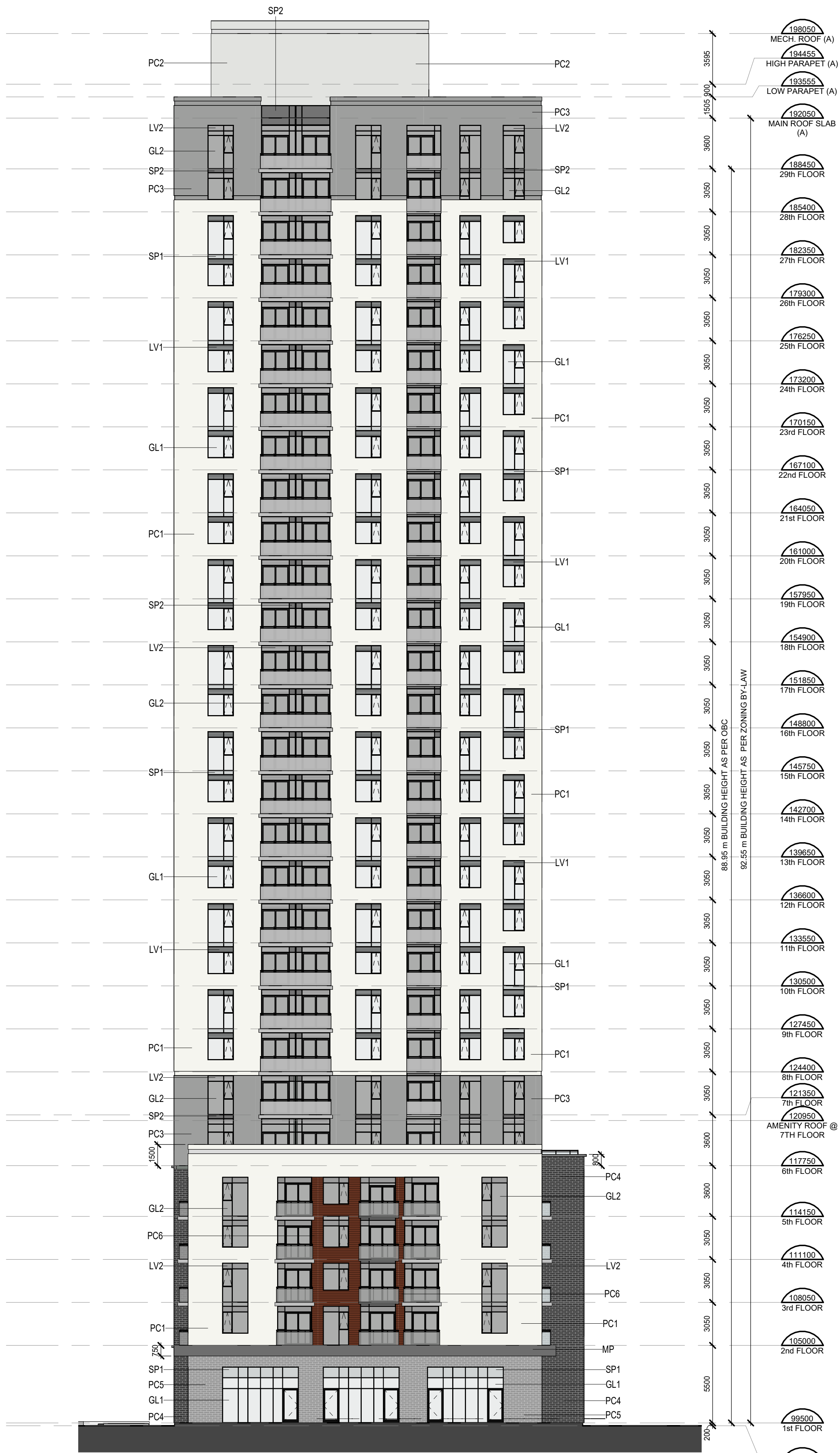
LEGEND

	GLAZING PANEL - LIGHT GREY
	GLAZING PANEL - DARK GREY
	SPANDREL PANEL - LIGHT GREY
	SPANDREL PANEL - DARK GREY
	LOUVRED PANEL - LIGHT GREY
	LOUVRED PANEL - DARK GREY
	AWNING WINDOW
	PRECAST COLOUR 1
	PRECAST COLOUR 2
	PRECAST COLOUR 3
	PRECAST COLOUR 4
	PRECAST COLOUR 5
	PRECAST COLOUR 6
	METAL SIDING - WOOD GRAIN
	METAL FLASHING
	ALUMINUM RAILING W/ GLASS

A2.41



2 WEST ELEVATION (A)
A2.42 1:200



1 EAST ELEVATION (A)
A2.42 1:200

NOTES:
ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURER/SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS.
GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.
GUARDS SHALL COMPLY WITH O.B.C. 3.3.6.
ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. SB-13.
GLAZING LOCATED 1070 OR LESS ABOVE FINISHED FLOOR AND MORE THAN 600mm ABOVE GRADE SHALL BE DESIGNED AS A GUARD AND SHALL COMPLY WITH ALL REQUIREMENTS OF THE O.B.C.
ALL WINDOW, DOOR AND GLAZING SYSTEMS TO BE BY DELEGATED DESIGN BY A PROFESSIONAL ENGINEER AND LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO OR THE JURISDICTION FOR WHICH THE PROJECT IS LOCATED IN AND AS SUBJECT TO REQUIRED APPROVALS.
ALL WINDOW, DOOR AND GLAZING SYSTEMS NOTED AS 'GG' TO BE DESIGNED TO ACT AS GUARDS. THIS WILL INCLUDE WINDOW AND DOOR FRAMES, OPERABLE UNITS, SPANDREL PANELS, LOUVERS, WINDOW AND DOOR FRAMES, CONNECTIONS TO STRUCTURE AND OTHER ASSOCIATED SYSTEMS AS REQUIRED TO MEET REQUIRED CODES.
ALL WINDOWS SHALL HAVE RESTRICTORS PER OBC 3.3.4.8 (1)(b) AND AS AMENDED.
ALL DOOR AND WINDOW FRAMES AND SASHES TO MEET THE REQUIREMENTS OF THE O.B.C. 2012 ARTICLE 3.1.5.4. COMBUSTIBLE GLAZING AND SKYLIGHTS.
REFER TO NOTICE IMPACT STUDY FOR ADDITIONAL GLAZING REQUIREMENTS.
ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SCREENS.
ALL SPANDREL GLASS PANELS ARE TO HAVE A MINIMUM R-VALUE OF R-10, CMV METAL BACK PAN.
DOOR AND WINDOW LOCATIONS, DIMENSIONS, DETAILS AND BUILDING MATERIALS MAY VARY DEPENDING ON FINAL BUILDING LAYOUT, AND SHOWN FOR INFORMATION PURPOSES ONLY.
WINDOW SUPPLIER/INSTALLER IS TO PROVIDE DEFLECTION CONNECTION FOR ALL CURTAIN WALLS WINDOW WALLS. (REFER TO STRUCTURAL DRAWINGS FOR REQUIRED DEFLECTION)
ALL WINDOWS AND GLASS DOORS TO MEET MINIMUM ENERGY RATINGS FOR WINDOWS IN ZONE 5 OF THE O.B.C. SB-10.
NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT
METAL FRAME (ALUM.) WINDOWS 0.25 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT
METAL FRAME DOORS 0.35 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT

NOTES:
MANDATORY WINDOW WALL REQUIREMENTS
1. THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY PLANES OF PROTECTION (WIND BARRIERS) AND VENTILATE AIR SPACES WITH PROVISION FOR POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINSCREEN DESIGN.
2. THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, GLASS EDGE COVERS, OPENING UNITS, DOORS AND THE TRANSITIONS TO THE ADJOINING ASSEMBLIES AND MATERIALS.
1. INCORPORATE THE RECOMMENDATIONS OF AN INDEPENDENT CONSULTANT (ARCHITECT OR PROFESSIONAL ENGINEER, HAVING EXPERTISE WITH THE DESIGN AND INSTALLATION OF WINDOW WALL SYSTEMS WHO HAS SPECIFICALLY ENGAGED FOR THIS PURPOSE.
2. THE INDEPENDENT CONSULTANT HAS APPROVED THE CONSULTANTS BUILDING DESIGN FOR THE WINDOW WALL SYSTEM FOR THE SPECIFIC PROJECT.
3. THE WINDOW WALL SYSTEM AS INSTALLED ON THE PROJECT IS IN COMPLIANCE WITH THE ARCHITECTS BUILDING DESIGN.
3. THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT FOR REVIEW BY THE CONSULTANT AND THE INDEPENDENT CONSULTANT, AND THE SHOP DRAWINGS AND CALCULATIONS HAVE BEEN SEALED BY A PROFESSIONAL ENGINEER RETAINED BY THE MANUFACTURER RESPECTING STRUCTURAL INTEGRITY, AIR BARRIER CONTINUITY AND WATER INGRESS MANAGEMENT.
4. THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES THE CONSULTANTS AND THE INDEPENDENT CONSULTANT WITH TEST REPORTS FOR AIR LEAKAGE AND WATER PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CSA A440, OR OTHER STANDARD APPLICABLE AT THE TIME AND PLACE OF CONSTRUCTION, AND THE CONSULTANTS AND THE INDEPENDENT CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.
5. A FULL SCALE MOCK-UP OF THE SPECIFIC WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE COVERS, OPENING UNITS, DOORS AND TRANSITIONS TO ADJOINING ASSEMBLIES AND MATERIALS, HAS BEEN SUCCESSFULLY TESTED RESPECTING AIR AND WATER INFILTRATION AND ENVIRONMENTAL SEPARATION PERFORMANCE IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS AS DETERMINED, REVIEWED AND APPROVED BY THE INDEPENDENT CONSULTANT.
6. THE COMPLETED WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IS WARRANTED RESPECTING AIR AND WATER INFILTRATION TO THE SATISFACTION OF THE INDEPENDENT CONSULTANT.
7. THE ENTIRE WINDOW WALL SYSTEM AS DESIGNED, CONSTRUCTED AND INSTALLED IS WARRANTED RESPECTING AIR LEAKAGE AND WATER INGRESS BY THE WINDOW WALL MANUFACTURER FOR A PERIOD OF NOT LESS THAN 5 YEARS FOLLOWING SUBSTANTIAL PERFORMANCE OF THE PROJECT OR REGISTRATION IN THE CASE OF A CONDOMINIUM, WHICHEVER COMES LATER. THE WARRANTY PROVIDED IS TO COVER ALL OF THE LABOUR AND MATERIALS REQUIRED TO REPAIR OR REPLACE THE WINDOW WALL SYSTEM SHOULD AIR LEAKAGE OR WATER INGRESS OCCUR DURING THE WARRANTY PERIOD.
8. THE INDEPENDENT CONSULTANT SHALL PROVIDE A PROFESSIONAL'S SEALED LETTER CONFIRMING THAT THEY WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

LEGEND	
GL1	GLAZING PANEL - LIGHT GREY
GL2	GLAZING PANEL - DARK GREY
SP1	SPANDREL PANEL - LIGHT GREY
SP2	SPANDREL PANEL - DARK GREY
LV1	LOUVRÉD PANEL - LIGHT GREY
LV2	LOUVRÉD PANEL - DARK GREY
AW	AWNING WINDOW
PC1	PRECAST COLOUR 1
PC2	PRECAST COLOUR 2
PC3	PRECAST COLOUR 3
PC4	PRECAST COLOUR 4
PC5	PRECAST COLOUR 5
PC6	PRECAST COLOUR 6
MS1	METAL SIDING - WOOD GRAIN
MF	METAL FLASHING
AR	ALUMINUM RAILING W/ GLASS

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DRAWING SETS ISSUED	No.	DATE
ZBA SUBMISSION	1	2026-02-23

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925 MAIN ST.

925 MAIN ST. HAMILTON, ON
DRAWING SHEET TITLE:

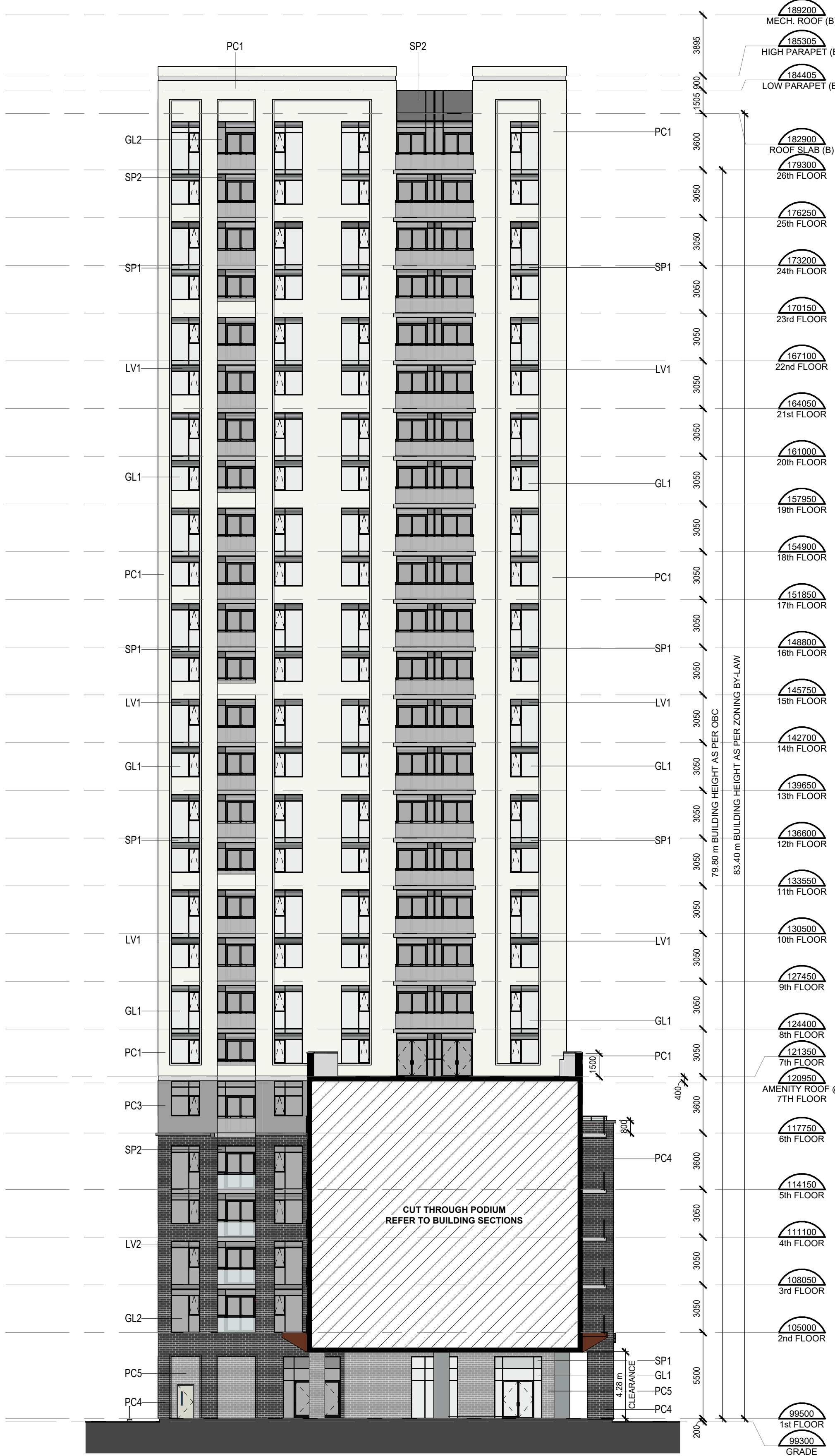
EAST & WEST
ELEVATIONS -
TOWER A

PROJECT NUMBER:
21009
PLOT DATE:
2026-02-20
DRAWING SHEET NUMBER:

A2.42



2 WEST ELEVATION (B)
A2.43 1:200



1 EAST ELEVATION (B)
A2.43 1:200

NOTES:

ALL GUARDS TO MEET REQUIREMENTS OF THE O.B.C. 2012. MANUFACTURER/SUPPLIER TO PROVIDE ENGINEERED, STAMPED SHOP DRAWINGS COMPLETE WITH MOUNTING DETAILS.

GUARDS SHALL COMPLY WITH O.B.C. 3.3.1.17, 3.4.6.5 AND 4.1.10.

GUARDS SHALL COMPLY WITH O.B.C. 4.3.6.

ALL GLASS IN GUARDS TO COMPLY WITH O.B.C. SB-10.

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ALL WINDOW, DOOR AND GLAZING SYSTEMS TO BE BY DELEGATED DESIGN BY A PROFESSIONAL ENGINEER AND LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO OR THE JURISDICTION FOR WHICH THE PROJECT IS LOCATED IN AND AS SUBJECT TO REQUIRED APPROVALS.

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ALL WINDOWS SHALL HAVE RESTRICTORS PER OBC 3.3.4.8 (1)(b) AND AS AMENDED.

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REFER TO NOTICE IMPACT STUDY FOR ADDITIONAL GLAZING REQUIREMENTS.

ENSURE CO-ORDINATION WITH MECHANICAL DRAWINGS FOR EXHAUST WALL BOX LOCATIONS WITHIN ALUMINUM SPORES.

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NON-METAL FRAME WINDOWS/DOORS 0.25 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT

METAL FRAME (ALUM.) WINDOWS 0.25 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT

METAL FRAME DOORS 0.35 MAX U VALUE
0.35 SOLAR HEAT GAIN COEFFICIENT

NOTES:

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1. THE WINDOW WALL SYSTEM MUST INCLUDE PRIMARY AND SECONDARY PLANES OF PROTECTION (WATER BARRIERS) AND VENTILATE AIR SPACES WITH PROVISION FOR POSITIVE DRAINAGE TO THE EXTERIOR IN A RAINSCREEN DESIGN.

2. THE DESIGN, TESTING AND INSTALLATION OF THE WINDOW WALL SYSTEM INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE COVERS, OPENING UNITS, DOORS AND THE TRANSITIONS TO THE ADJOINING ASSEMBLIES AND MATERIALS.

3. THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES SHOP DRAWINGS AND CALCULATIONS FOR THE WINDOW WALL SYSTEM TO BE USED ON THE SPECIFIC PROJECT FOR REVIEW BY THE CONSULTANT AND THE INDEPENDENT CONSULTANT, AND THE SHOP DRAWINGS AND CALCULATIONS HAVE BEEN REVIEWED AND ACCEPTED BY THE CONSULTANTS AND THE INDEPENDENT CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.

4. THE MANUFACTURER OF THE WINDOW WALL SYSTEM PROVIDES THE CONSULTANTS AND THE INDEPENDENT CONSULTANT WITH TEST REPORTS FOR AIR LEAKAGE AND WATER PENETRATION IN COMPLIANCE WITH THE REQUIREMENTS OF THE APPLICABLE VERSION OF CSA A440, OR OTHER STANDARD APPLICABLE AT THE TIME AND PLACE OF CONSTRUCTION, AND THE CONSULTANTS AND THE INDEPENDENT CONSULTANT HAVE EACH REVIEWED AND ACCEPTED THESE REPORTS AS APPROPRIATE FOR THE SPECIFIC PROJECT.

5. A FULL SCALE MOCK-UP OF THE SPECIFIC WINDOW WALL SYSTEM FOR THE PROJECT, INCLUDING FRAMING MEMBERS, GLAZING UNITS, ANCHORAGE, SLAB EDGE COVERS, OPENING UNITS, DOORS AND TRANSITIONS TO ADJOINING ASSEMBLIES AND MATERIALS, HAS BEEN SUCCESSFULLY TESTED RESPECTING AIR AND WATER INFILTRATION AND ENVIRONMENTAL SEPARATION PERFORMANCE IN ACCORDANCE WITH RECOGNIZED INDUSTRY STANDARDS AS DETERMINED, REVIEWED AND APPROVED BY THE INDEPENDENT CONSULTANT.

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8. THE INDEPENDENT CONSULTANT SHALL PROVIDE A PROFESSIONAL'S SEALED LETTER CONFIRMING THAT THEY WILL COMPLY WITH THE MANDATORY WINDOW WALL REQUIREMENTS ABOVE. THIS LETTER SHALL BE SUBMITTED AT THE TIME OF SHOP DRAWING SUBMISSION.

LEGEND	
GL1	GLAZING PANEL - LIGHT GREY
GL2	GLAZING PANEL - DARK GREY
SP1	SPANDREL PANEL - LIGHT GREY
SP2	SPANDREL PANEL - DARK GREY
LV1	LOUVRED PANEL - LIGHT GREY
LV2	LOUVRED PANEL - DARK GREY
AW	AWNING WINDOW
PC1	PRECAST COLOUR 1
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PC3	PRECAST COLOUR 3
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1008 BRYAN DRIVE • SUITE 101
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34 WATER STREET • SUITE 101
CAMBRIDGE, ONTARIO • N1R 3B1
1.800.851.9000



BUILDING PERMIT NUMBER:
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APPLICATION FILE NUMBER:



925 MAIN ST.

925 MAIN ST. HAMILTON, ON

DRAWING SHEET TITLE:

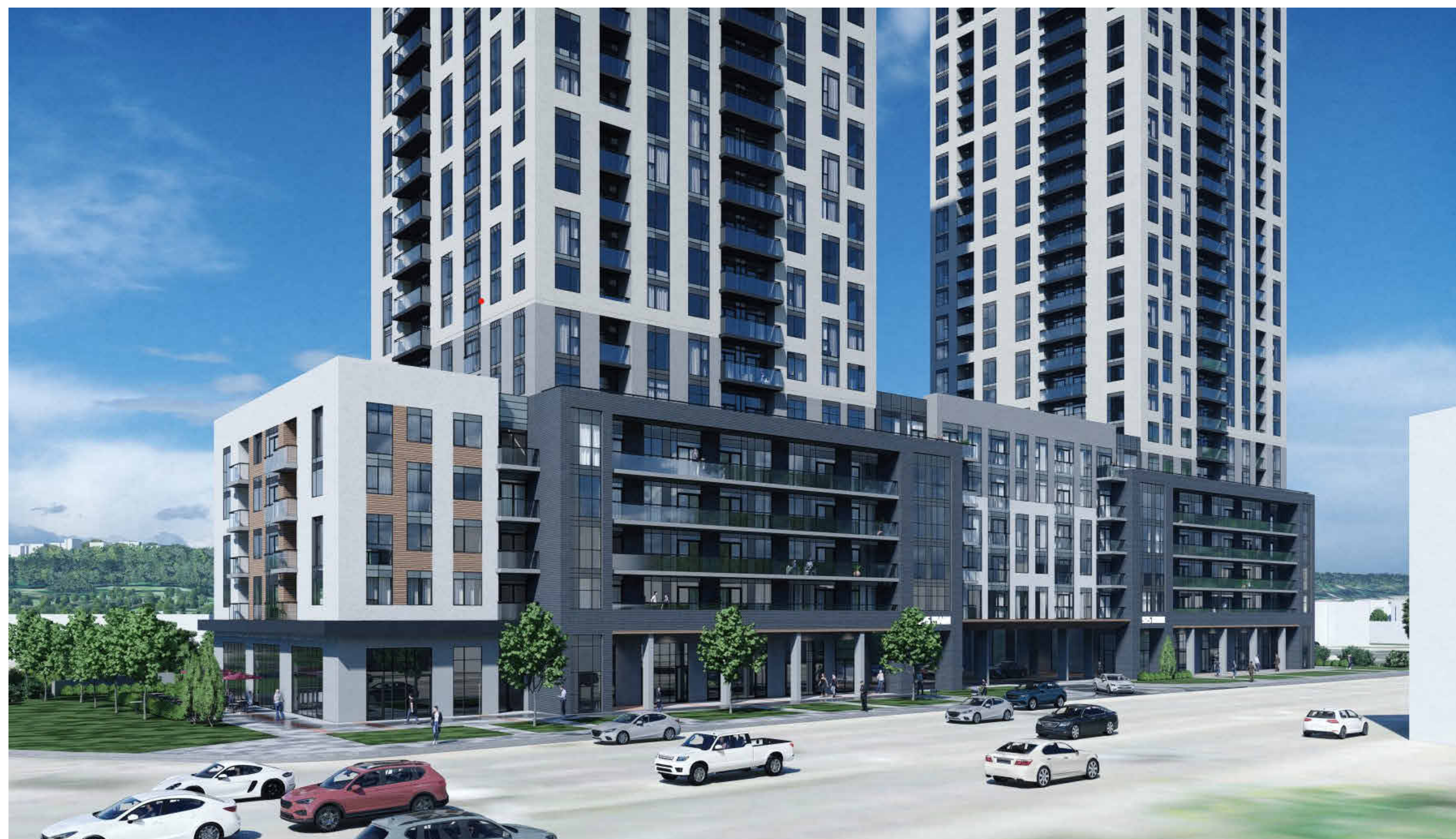
EAST & WEST
ELEVATIONS -
TOWER B

PROJECT NUMBER:
21009

PLOT DATE:
2026-02-20

DRAWING SHEET NUMBER:

A2.43



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.

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[illegible]

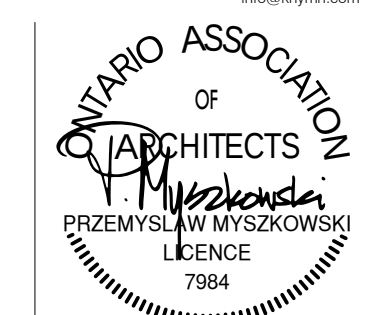
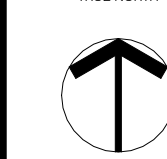
ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

[illegible]

KNY M H INC.

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925 MAIN ST.

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RENDERINGS

PROJECT NUMBER: 21009	PLOT DATE: 2026-02-20
DRAWING SHEET NUMBER:	

A7.01



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